

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Building address 327 Broadway Bethlehem, PA 18015

Owner of building Sycamore Hill Farm Development Phone [REDACTED]

Owner's email & mailing address [REDACTED]

Applicant Lawrence Eighmy Phone: [REDACTED]

Applicant's email & mailing address [REDACTED]

Street and Number 301 Broadway City Bethlehem State PA Zip Code 18015

APPLICANT MUST ATTEND MEETING FOR CASE TO BE HEARD.

USE THE CHECKLIST ON THE BACK OF THIS APPLICATION TO ENSURE YOUR SUBMISSION IS

COMPLETE.

Historic & Architectural Review Board – Application form, photographs, and drawings (if necessary) must be submitted by 12:00 Noon on the last Wednesday of the month in order to be placed on the agenda for the next meeting.

South Bethlehem & Mount Airy Historic Conservation Commission - Application form, photographs, and drawings (if necessary) must be submitted by 12:00 noon on the second Monday of the month in order to be placed on the agenda for the next meeting.

1. PHOTOGRAPHS - Photographs of your building and neighboring buildings **must accompany** your application.

2. TYPE OF WORK PROPOSED – Check all that apply. Please bring any samples or manufactures specifications for products you will use in this project.

- Trim and decorative woodwork
- Siding and Masonry
- Roofing, gutter and downspout
- Windows, doors, and associated hardware
- Storm windows and storm doors
- Shutters and associated hardware
- Paint (Submit color chips – HARB only)
- Skylights
- Metal work
- Light fixtures
- Signs
- Demolition
- Other _____

3. DRAWINGS OF PROPOSED WORK – Required drawings **must accompany** your application. Please submit **ONE ORIGINAL AND TEN (10) COPIES OF DRAWINGS, PHOTOGRAPHS, APPLICATION FORM, AND ANY SPECIFICATIONS**

- Alteration, renovation, restoration (1/4 or 1/8"=1'0" scale drawings required IF walls or openings altered.)
- New addition (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)
- New building or structure (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)
- Demolition, removal of building features or building (1/4" or 1/8"=1'0" scale drawings: elevation of remaining site and site plan)
- A scale drawing, with an elevation view, is required for all sign submittals

4. DESCRIBE PROJECT – Describe any work checked in #2 and #3 above. Attach additional sheets as needed.

5. APPLICANT'S SIGNATURE [Signature] **DATE:** 4/11/15

The February submission addresses the concerns of the board regarding the 4th Street facade, and includes some new additions as the overall building program is developed. At the start of this project, we sought approval for renovations related to the Seven Sirens Brewery to be located on the first level of 327 Broadway. As the project has evolved over the past several months, the scope has grown to include renovations to the upper two levels and roof. Items approved in prior submissions have been omitted and left unchanged. The attached drawings highlight only newly developed items and open (unapproved) items. The items below are included in this submission:

1. Revised design of 4th Street facade
2. Added windows at upper floors on West side of building (facing parking lot)
3. Added rooftop infrastructure - Stair towers and elevator shaft (some of which will be visible from the street)

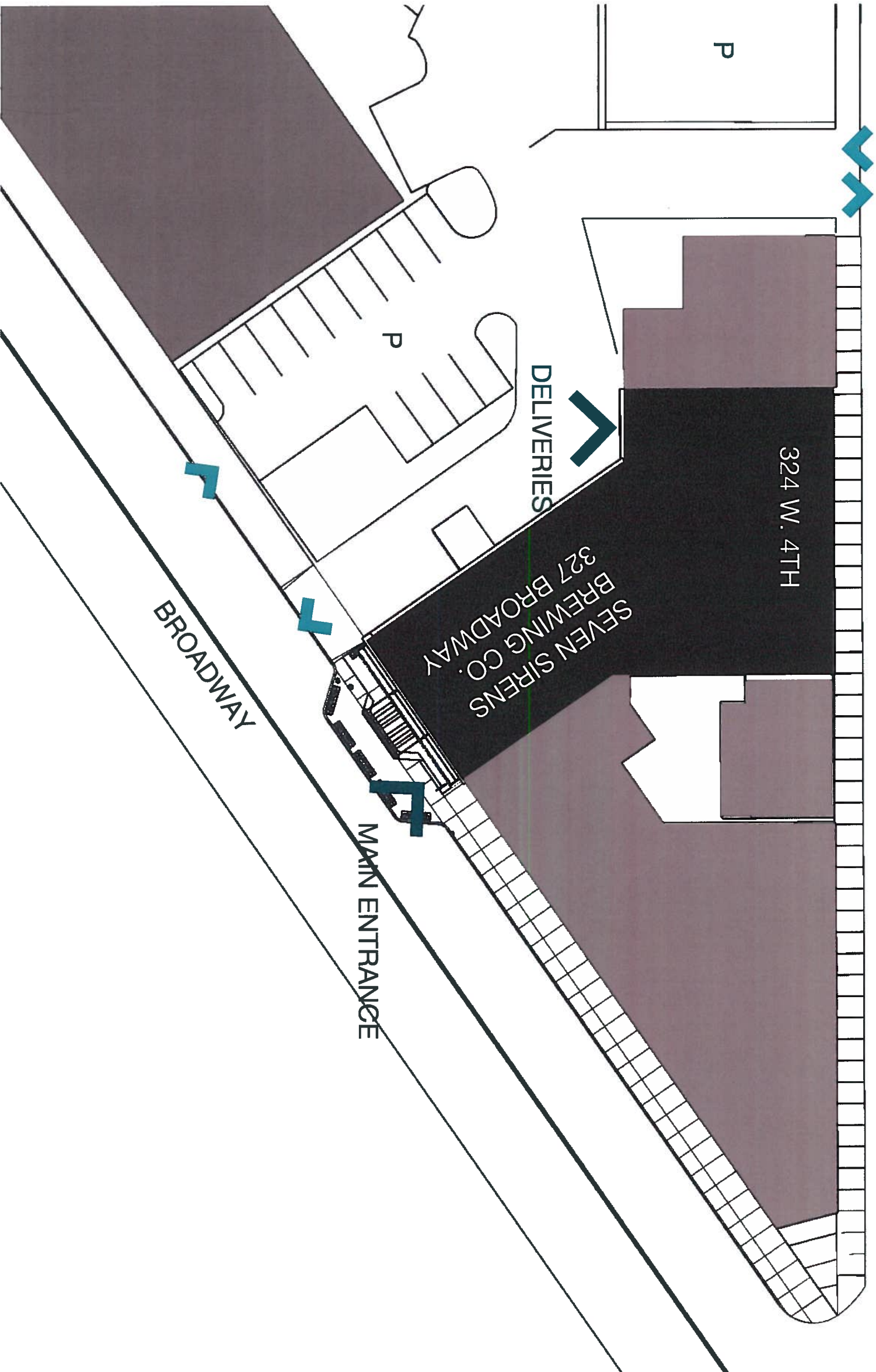
The drawings clearly identify changes to the 4th Street facade prompted by the board's prior comments. We feel the design is strong and adequately addresses all previous concerns. A sample of the glass will be provided at the presentation.

The added windows will follow in appearance the previously approved design. At each new location, an opening in the masonry structure previously existed. The original sills and headers are visible from within the parking garage, although they have been infilled and covered over with stucco from the exterior. The stucco exterior will be cut and patched as needed to "re-open" these windows.

There is an interest to one day occupy the roof as an outdoor event space, and in order to do this, two stair towers and the elevator shaft must service this level. The rooftop infrastructure is necessary to bring the entire building up to current industry standards and code requirements. Locations of these elements have been carefully considered such that one stair tower and the elevator shaft will not be visible from a public right of way. The second stair tower, however, will be visible across the parking lot from Broadway. We propose to clad this addition in a similar aluminum panel as is proposed at the 4th Street facade. It would be finished in the same dark bronze as the new windows and curtainwall system. A perspective view has been provided within the drawings to depict the visibility of this stair from the street.

Thank you for your continued feedback on this project, and we look forward to implementing the renovations very soon! It is a complex and extensive renovation, but we are dedicated to completing the work in a respectful manner using quality, lasting materials that will enhance this transitioning neighborhood.

4TH STREET



1408 Chelsea Ave
Bethlehem, PA 18018
610.392.5206

ENGINEER
Pinnacle
Engineering

CONTRACTOR
Elevate Construction
Partnership

CLIENT
The Stone House Group
301 Broadway
Bethlehem, PA 18015

PROJECT
Seven Sirens
Brewery
327 Broadway
Bethlehem, PA
18015

DRAWN BY
E. Nofler

ISSUED FOR APPROVAL
2019_02_11

SITE PLAN

1 SITE PLAN
1" = 30'

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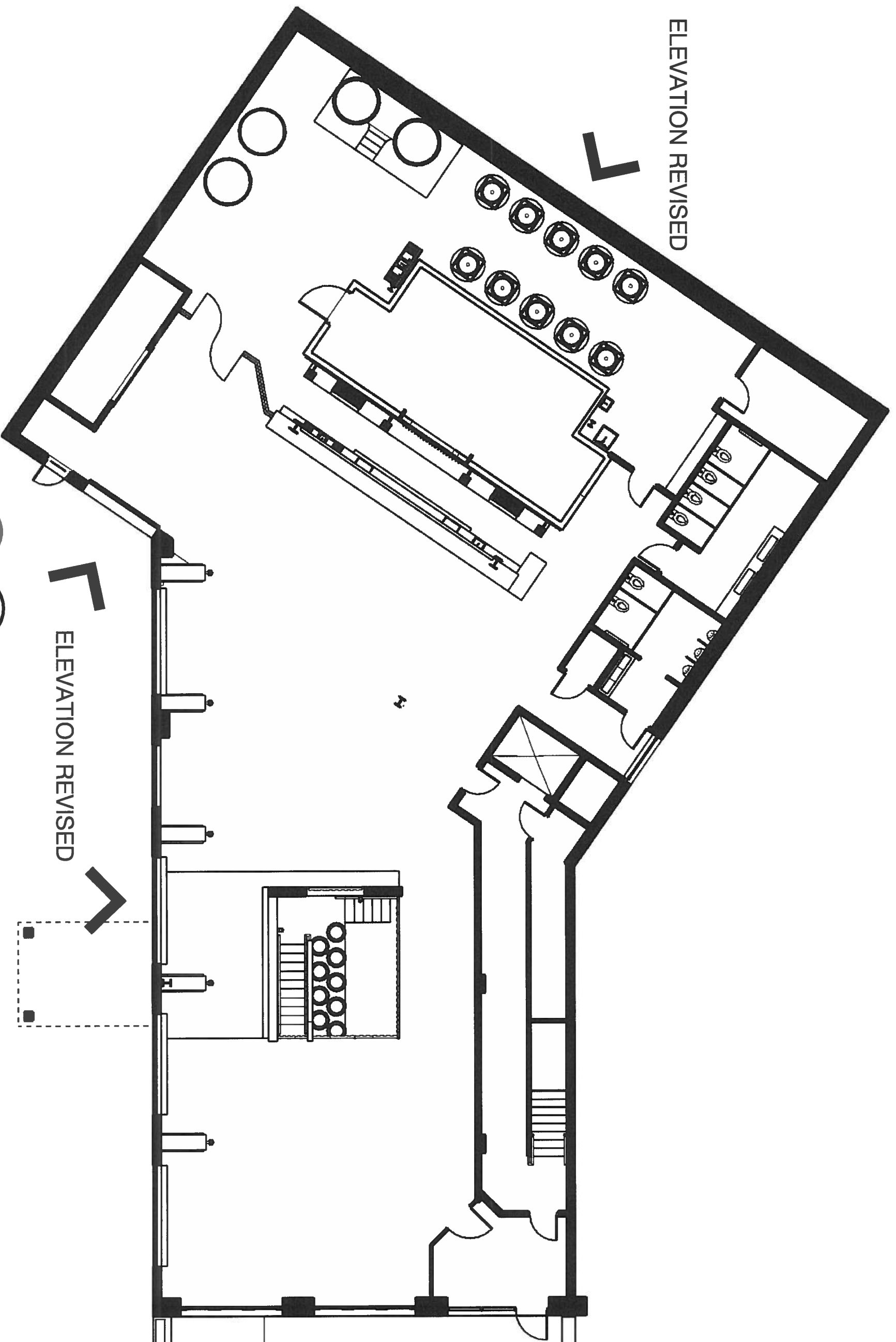
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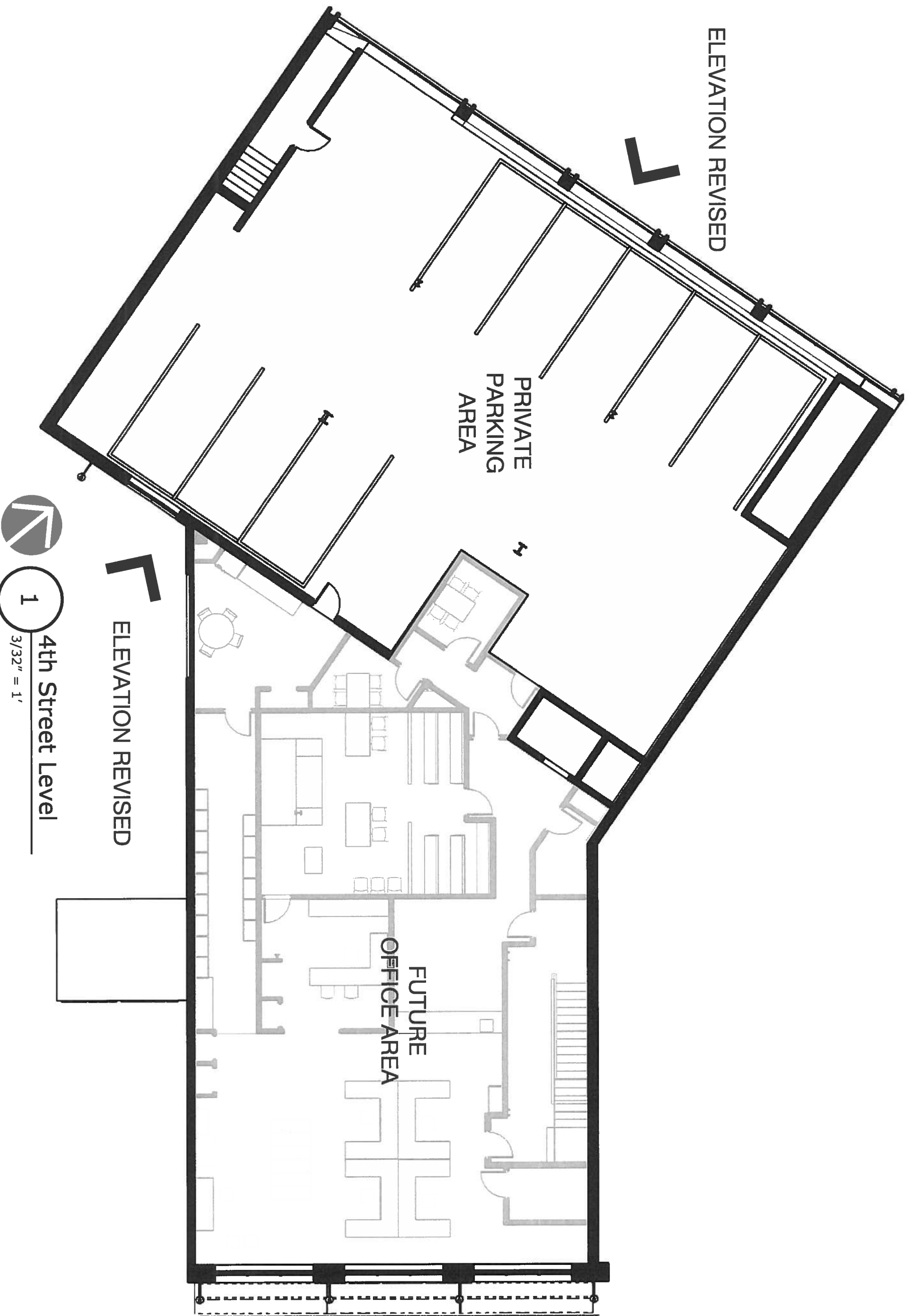
DRAWN BY
E. Nolter

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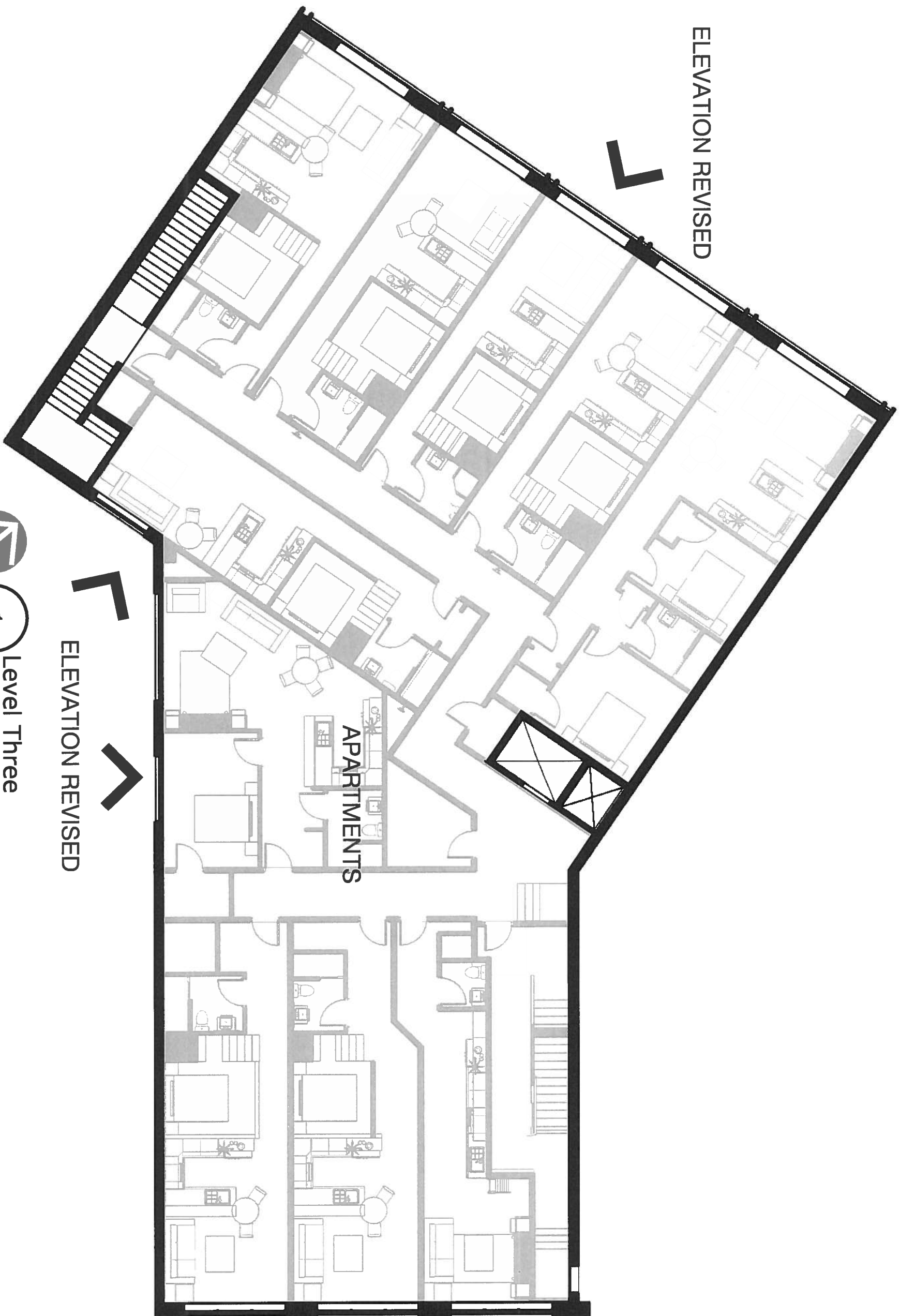
**BREWERY
FLOOR PLAN**



1
Broadway Level
3/32" = 1'



ELEVATION REVISED



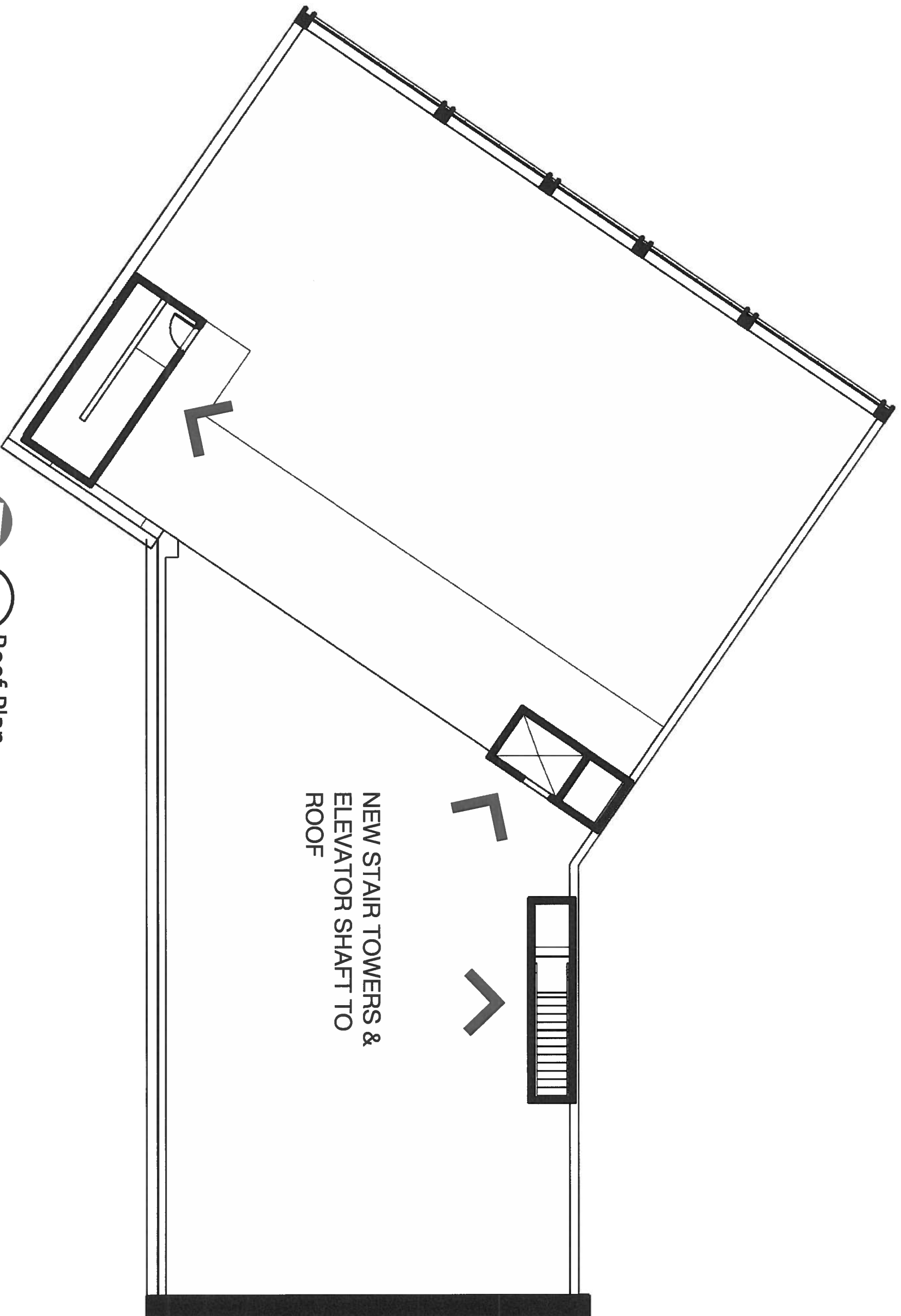
ELEVATION REVISED

APARTMENTS

Level Three

1

3/32" = 1'



 **1** Roof Plan
3/32" = 1'

NEW ALUMINUM STOREFRONT IN
NEW WINDOW OPENINGS

NEW STAIR & ELEVATOR, NOT
VISIBLE FROM THE STREET

EXISTING PAINT

NEW MEDIUM GREY
PAINT COLOR

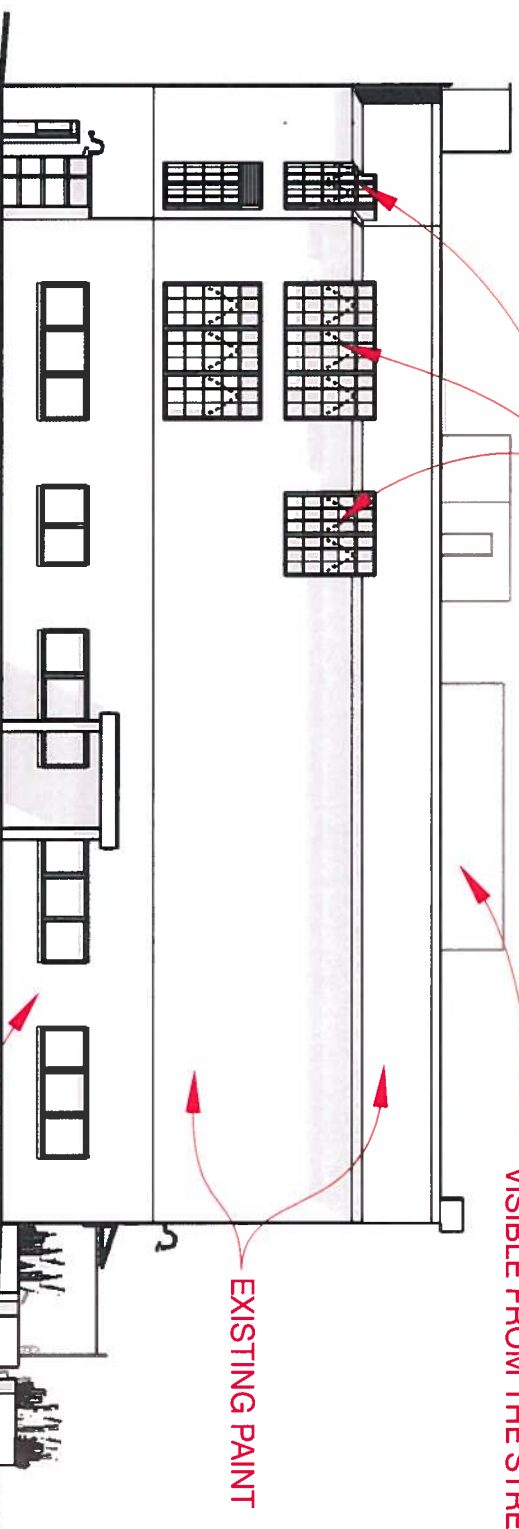
NEW STAIR TOWER VISIBLE FROM
BROADWAY

NEW ALUMINUM STOREFRONT IN
NEW WINDOW OPENINGS

UPDATED PER COMMENTS, SEE
ENLARGED ELEVATION, NEXT
SHEET

2
North Elevation
1/16" = 1'

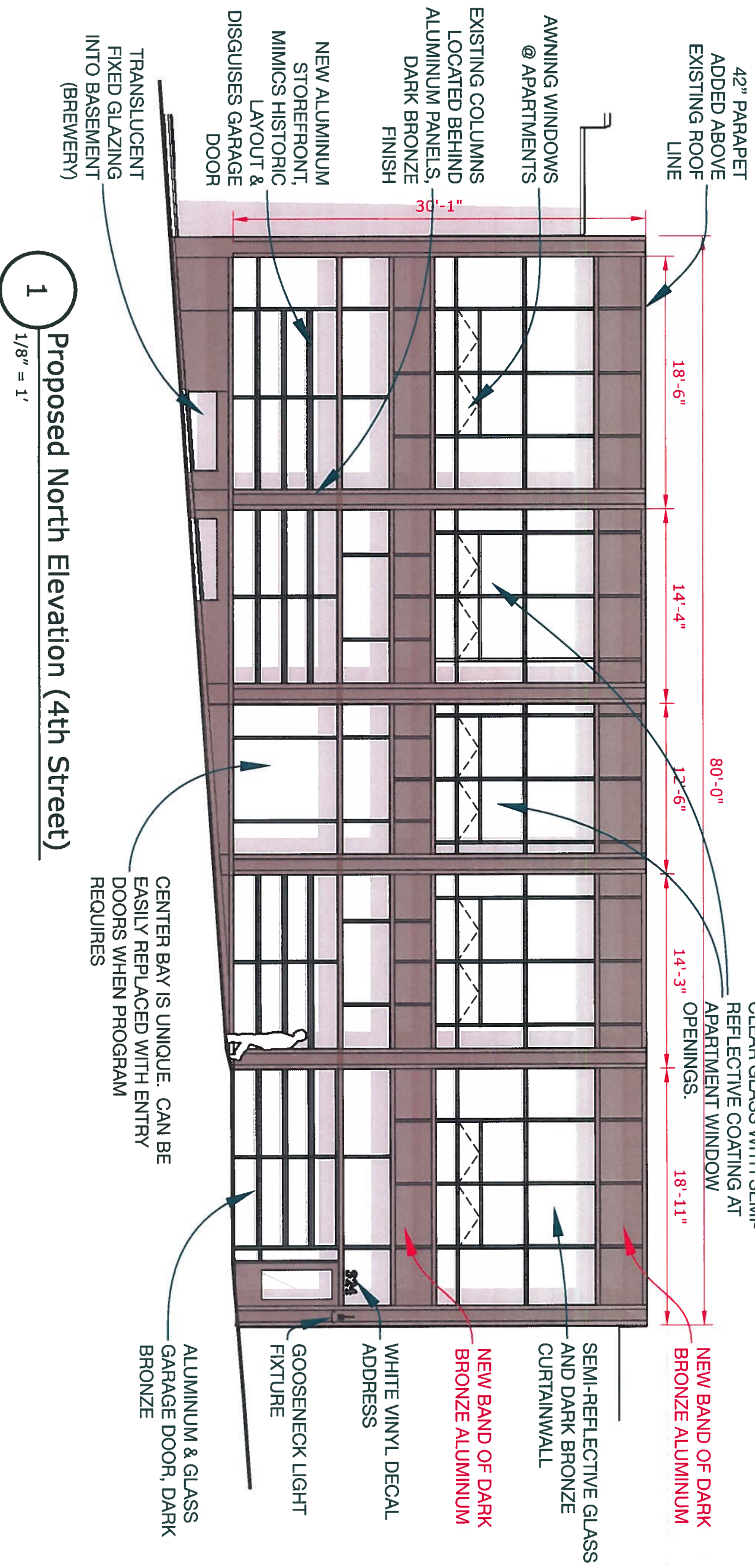
1
West Elevation
1/16" = 1'



3
Partial South Elevation
1/16" = 1'

COMMENTS FROM PREVIOUS MEETINGS:

1. Add horizontal bands of contrasting color/material to reflect historic divisions in facade **RESPONSE:** Two rows of horizontal opaque aluminum panels have been added in place of spandrel glass. These roughly mimic the proportions and location of the decorative cornices of the original facade.
2. Reflective Glass is generally not acceptable **RESPONSE:** Glass samples will be provided at meeting. Glass is only slightly reflective, not tinted or mirrored.
3. Normalize or align vertical divisions of glass panels. **RESPONSE:** Divisions at the two "cornices" have been shifted to align with window openings above or below. Verticals at second floor are aligned with existing masonry openings. Verticals at first floor are consistent with historic divisions.



1 Proposed North Elevation (4th Street)

1/8" = 1'

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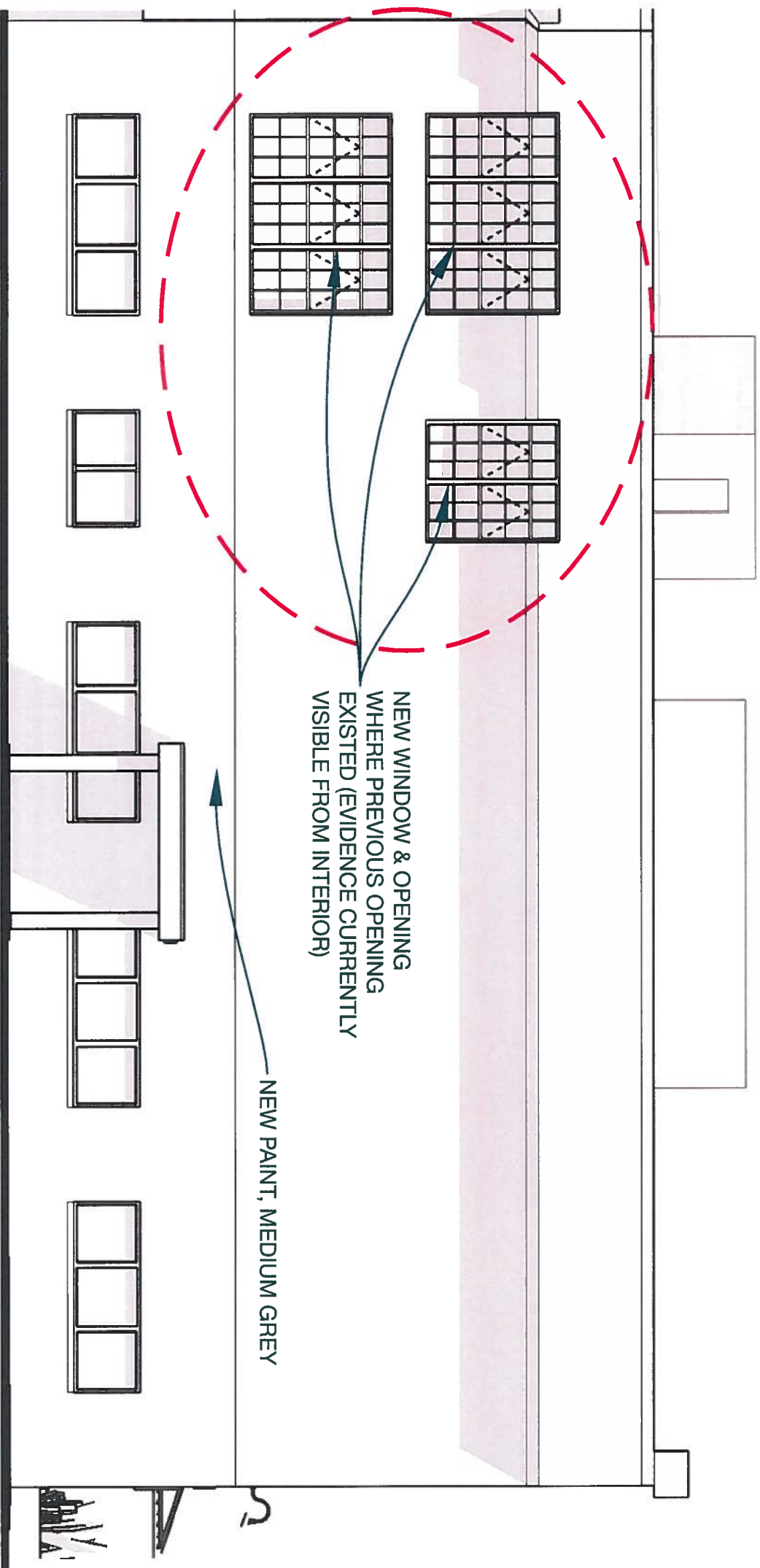
**PERSPECTIVE
VIEW**



1

NTS

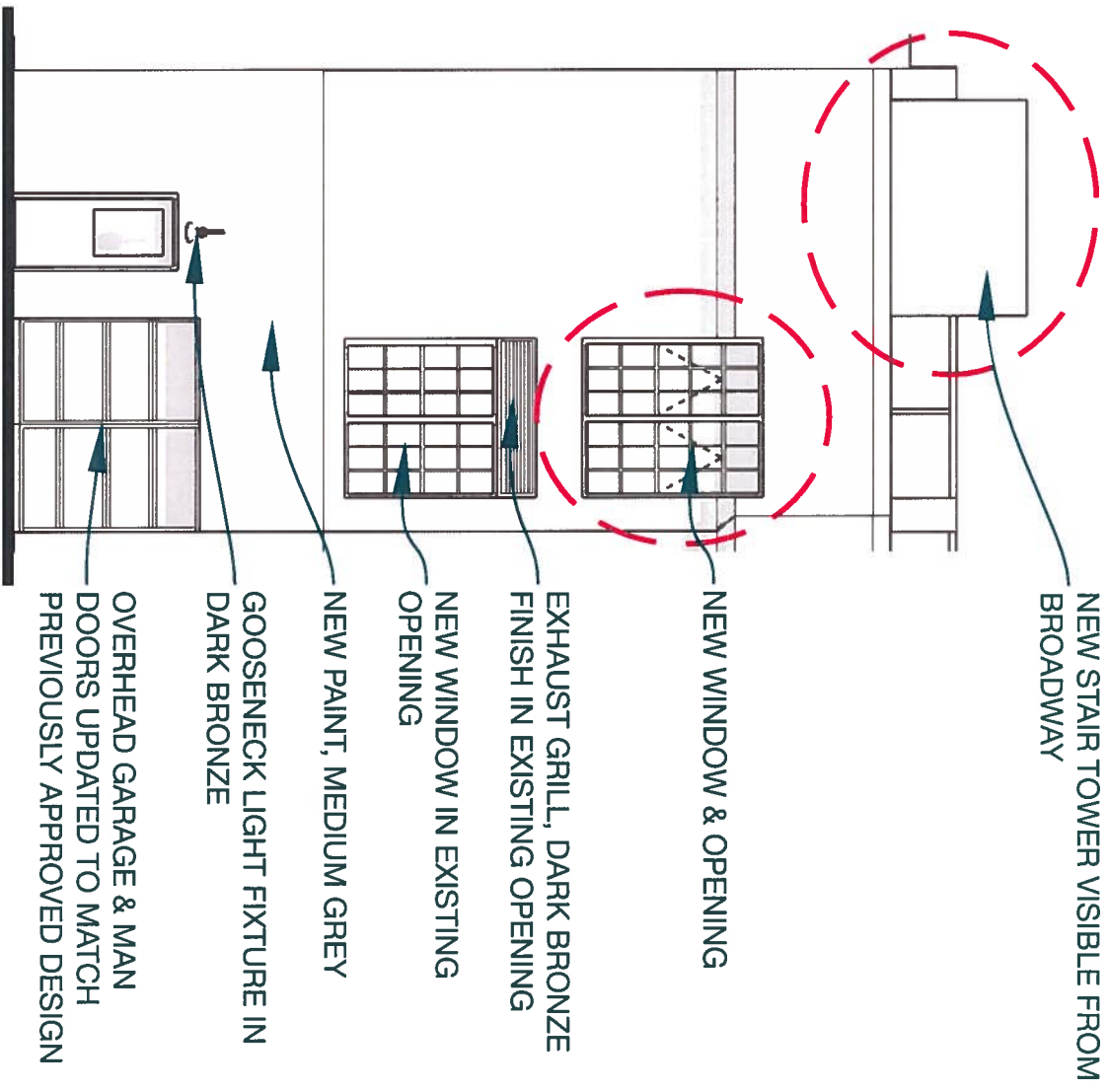
Proposed - 324 W 4th Street



Proposed South West Elevation

1

1/8" = 1'



1 Proposed South Elevation (Parking Lot)

1/8" = 1'

2 Perspective View

1/2" = 1'

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Pinnacle
Engineering

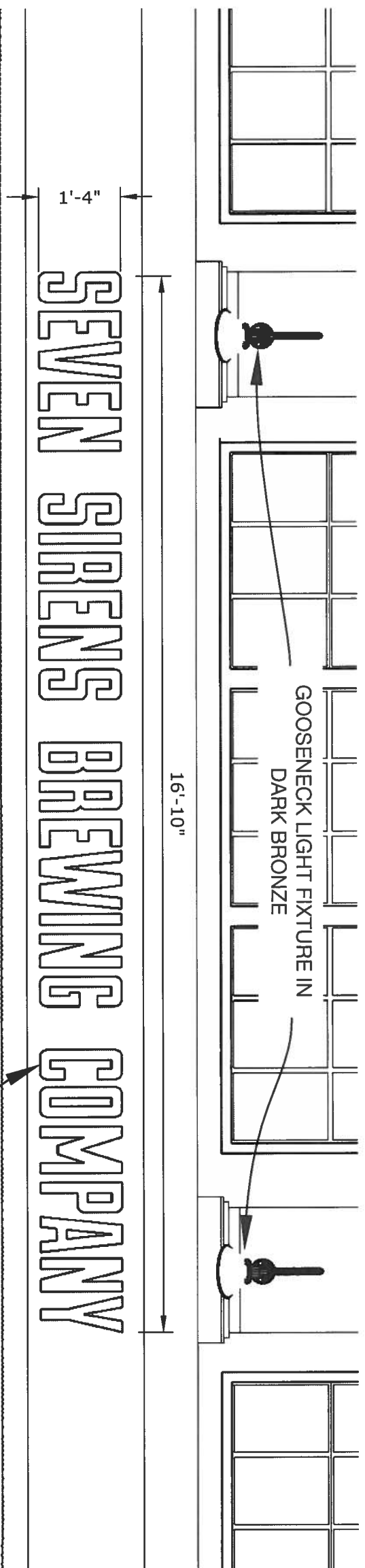
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**SIGNAGE,
LIGHTING**



1
SIGNAGE DETAIL
1/2" = 1'

INDIVIDUALLY MOUNTED ALUMINUM LETTERS.
RAISED 2", MECHANICALLY FASTENED
THROUGH EXISTING EIFS TO SHEATHING
BEYOND.



2
Gooseneck Fixture
NTS